



May 15, 2008

Honorable Mayor Cindy Bartman and Members of the City Commission
City of East Grand Rapids
750 Lakeside Drive SE
East Grand Rapids, MI 49506

Re: Jade Pig Ventures Phase 2, Gaslight Redevelopment, The Derby: Final Planned Unit Development (PUD) Amendment

Dear Mayor Bartman and Members of the City Commission:

Action Requested

1. Approval of the Final PUD and Complete Site Plan, subject to four conditions as listed below
2. Approval of the amendment to the Jade Pig Redevelopment PUD Agreement

Background

Jade Pig Ventures has submitted an application and Complete Site Plan for the Final PUD Amendment to Phase II of the Jade Pig Redevelopment PUD. An amendment to an approved PUD is processed in the same manner as the original PUD approval. The Preliminary PUD was approved by the City Commission on February 5, 2008. According to Section 5.138, c, a Final PUD must be submitted within 12 months of approval of the preliminary PUD. The applicants have submitted a Final PUD application and Complete Site Plan that conforms to both the requirements of the Zoning Ordinance and the approved Preliminary PUD. There are no substantial changes from the preliminary approval; therefore, we need not describe the project in detail since the Commission is already familiar with it. The Planning Commission reviewed the final site plan for the PUD amendment at their meeting on May 13, 2008. The Planning Commission recommends approval of the Final PUD Amendment, subject to two conditions that will be discussed below.

This review summarizes the PUD amendment procedure, references the standards of review for both a Complete Site Plan and a PUD, discusses the Conditions of Approval from the Preliminary PUD, and provides a recommendation of approval and conditions.

Procedure: This is the final step in the approval of the PUD amendment. No public hearings are required at the Final PUD approval. The following table summarizes the PUD amendment procedure and the approvals thus far:

Step	Purpose	Action
1. Pre-application Conference	Meet with city staff for guidance, no formal action (held 8/1/07)	None

Step	Purpose	Action
2. Preliminary Development Plan <ul style="list-style-type: none"> • Preliminary PUD Plan • Amend PUD Ordinance 	a. Planning Commission study session, 10/9/07	None
	b. Planning Commission public hearing & review, 12/11/07; continued to 1/8/08	Recommendation of approval to City Commission and approval of Statement of Findings
	c. City Commission public hearing and initial review (1/21/08)	None
	d. City Commission review and decision (2/5/08)	City Commission approval of Preliminary PUD and amended PUD ordinance
3. Final Development Plan <ul style="list-style-type: none"> • Complete Site Plan • PUD Agreement Amendment 	a. Planning Commission review (5/13/08)	Recommendation of approval to the City Commission
	b. City Commission review	City Commission approval of final site plan and PUD agreement

Approval of the PUD amendment also requires final approval of an agreement that amends the original Jade Pig Redevelopment PUD agreement. The amended agreement modifies the exhibits to the original agreement to be consistent with the amended plan. Therefore, new exhibits are added to the original agreement, and references to them are added to the old exhibits so that everything is tied together.

Final PUD Site Plan

Section 5.138, c states that a Final PUD application must be accompanied by a Complete Site Plan that meets the requirements of Article XIII B (Site Plans). We have reviewed the Final PUD site plan and find that it meets all of the requirements of Article XIII B.

The City Services Director has also reviewed the Final Site Plan; his comments are attached. These issues will need to be resolved prior to issuance of building permits. The City Service Director’s comment regarding the building address is discussed below.

A Complete Site Plan must meet the Standards of Review in Section 5.148. The submitted Complete Site Plan meets these standards. We note that Section 5.148, B states that a site plan should ensure “adequate ingress and egress to the property with reference to motor vehicle and pedestrian safety and convenience and access in case of fire, catastrophe or other emergency.” The Complete Site Plan for the amended PUD shows a temporary access through the existing Ramona Medical Center parking lot. The permanent access is to be the shared drive with Lakewood Hills Apartments, which will hopefully become available pending the outcome of litigation between Lakewood Hills and Jade Pig. A condition of approval (see below) is proposed to ensure that adequate ingress and egress to the north end of Lakeside Drive is provided.

The standard at Section 5.148, C states “Appropriateness of parking and loading areas including noise, glare and other effects on adjoining properties.” Since the changes in the parking plan from the originally-approved PUD are based on unanticipated market forces, it is reasonable to conclude that similar forces may change the parking in future phases of this project. We propose an additional condition of approval (see below) to require any further changes in parking to be preceded by a parking

study that justifies the changes. This will ensure adequate parking for all of the uses on the site, as well as meeting the above-cited standard.

Standards of PUD Approval and Findings of Fact

Section 5.139 of the Zoning Ordinance outlines the standards for approval of a PUD, all of which must be met. Most of these standards and objectives deal with issues that relate to the character and design of the overall project. Items such as preserving the character of the area and encouraging the provision of open spaces have already been met through the layout of the larger development. The primary amendments to this phase of the project include:

- re-arrangement of the building mass (by re-orienting the tower; the building footprint is unchanged);
- changes to the building design and materials;
- a decrease in commercial space;
- a decrease in the amount of interior parking provided by elimination of the underground garage and a decrease of 26 parking spaces in the deck previously reserved for the retail/office area.
- A change to the site circulation plan, with a temporary exit at the north end of the project through the existing Ramona Medical Center parking lot.

At the time of Preliminary PUD approval, the City Commission found that the proposed PUD amendment was consistent with the findings and requirements of the approved overall Jade Pig Redevelopment PUD. The Final PUD is consistent with the approved Preliminary PUD plan; therefore, we find that the PUD Standards of Review are met in the Final PUD, provided that the conditions cited below are attached to the Final PUD approval.

It should be noted that one of the Findings of Fact in the original PUD ordinance (Section 5, (b)) recommended that the Master Plan be updated to reflect the changes caused by the Jacobsen's demolition and the approval of the redevelopment PUD. The Master Plan was updated in 2006 when a new Gaslight Village Subarea Plan was adopted. The proposed Phase 2 Final PUD amendment is consistent with the revised Master Plan.

Conditions of Preliminary PUD Approval

The City Commission approved the Preliminary PUD subject to three conditions. An analysis of the Final PUD plan relative to these conditions follows.

- 1. The applicant shall enter into a shared driveway agreement with the owners of the Lakewood Hills Apartments, prior to issuance of building permits, in a form acceptable to the City Attorney. If a shared driveway agreement cannot be accomplished, a driveway in a safe and efficient location should be planned as part of Phase 3. The applicants shall abandon the "Temporary Driveway to Ramona Medical Property" upon provision of the new access.*

This condition needs to remain a condition of approval for the Final PUD. The shared driveway concept has always been a part of the approved PUD, and has also been an important element in reviewing the proposed Lakewood Hills PUD. Throughout this process, the City has made it clear that there needs to be only one entrance off Lakeside Drive serving both the Lakewood Hills Apartments and the Jade Pig Redevelopment PUD. This condition ensures that the process of securing the shared access will continue. If, after all efforts are exhausted, a shared access is not achieved, the condition requires an access serving the Jade Pig Redevelopment PUD to be planned in a safe and accessible location as part of the Phase 3 approval.

2. *The following changes shall be made to the site plan, which shall be completed and submitted for administrative approval within thirty (30) days of approval of the Preliminary PUD Amendment by the City Commission:*
 - a. *The applicant shall provide a sidewalk connection on the east side of the property to a future pedestrian connection through the Lakewood Hills property. This should be shown on the site plan as "Proposed Future Sidewalk Connection" near the southerly edge of the Lakewood Hills property.*
 - b. *The plan shall show bollards or other means of protecting the landscaping opposite the loading dock.*

These changes are reflected on the Final PUD site plan. This condition is no longer necessary.

3. *All future phases and amendments to the Jade Pig Redevelopment PUD shall be consistent with the parking and traffic recommendations and conclusions of the Jade Pig Redevelopment PUD ordinance. Any change that affects the number of residential units, the number and/or location of parking spaces, the mix of retail, office and service uses or other change that would result in an increase in the need for parking spaces beyond that approved in the original PUD approval, shall not be considered unless a parking study has been completed by a professional traffic/ parking consultant that shows how parking needs for the entire site can be met.*

This condition also needs to remain as a condition to the Final PUD. With this change to the approved Phase 2 plan, we anticipate that there may also be changes from the approved Jade Pig Redevelopment PUD in future phases. Since parking was a major issue in the original PUD approval, we want to ensure that parking needs will continue to be met as the final phases of the project are proposed.

Property Address

The building takes its access from a drive that is located between The Derby (Building 3 as depicted on the Jade Pig Redevelopment PUD Ordinance) and the medical/office/retail building (Buildings 2a through 2c, known collectively as Building 2). The businesses in Building 2 have direct access to Wealthy Street and are addressed accordingly. However, the condominiums and the proposed businesses in the Derby building do not have direct access to Wealthy Street. We recommend that this drive be given a street name and that the new building be addressed to this street.

PUD Agreement

The City Attorney has prepared an amendment to the original PUD Agreement for the Jade Pig Redevelopment that reflects the new site plan for Phase 2. This amendment references the original agreement and notes new exhibits to replace those that are changed by the amendment. It will be necessary to make a recommendation on the amendment to the PUD Agreement as well as the Final PUD Complete Site Plan.

Recommendation – Approval, with conditions

LSL Planning recommends that the City Commission approve the Amended Final PUD, as well approve the amendment to the PUD Agreement. The amended plan continues to meet the Standards of Review for both Final PUDs and Complete Site Plans. However, this approval should be based upon the following conditions:

1. The site plan shall be amended to reflect the changes in the City Service Director's memorandum, dated May 15, 2008, prior to application for building permits.

2. The applicant shall propose a name for the drive in front of the building that is not already in use within the City; all uses within the building shall be addressed to this drive.
3. The applicant shall enter into a shared driveway agreement with the owners of the Lakewood Hills Apartments, prior to issuance of building permits, in a form acceptable to the City Attorney. If a shared driveway agreement cannot be accomplished, a driveway in a safe and efficient location shall be planned as part of Phase 3. The applicants shall abandon the "Temporary Driveway to Ramona Medical Property" upon provision of the new access.
4. All future phases and amendments to the Jade Pig Redevelopment PUD shall be consistent with the parking and traffic recommendations and conclusions of the Jade Pig Redevelopment PUD ordinance. Any change that affects the number of residential units, the number and/or location of parking spaces, the mix of retail, office and service uses or other change that would result in an increase in the need for parking spaces beyond that approved in the original PUD approval, shall not be considered unless a parking study has been completed by a professional traffic/ parking consultant that shows how parking needs for the entire site can be met.

Conditions 3 and 4 are the conditions that were attached to the Planning Commission's recommendation of approval. The first two conditions relate to the comments of the City Service Director and are necessary to ensure that the final plans conform to all City requirements.

This review and recommendation is based on the approved Preliminary PUD, the original Jade Pig Redevelopment PUD ordinance and the requirements of the Zoning Ordinance for Final PUDs and PUD amendments.

I will attend the meeting on June 2 and look forward to answering your questions.

Sincerely,



Steven J. Van Steenhuyse AICP
Senior Planner

cc: Brian Donovan, City Manager
Ken Feldt, City Services Director
John Huff, City Attorney

May 7, 2008



Mr. Brian Donovan, City Manager
City of East Grand Rapids
750 Lakeside Drive SE
East Grand Rapids, MI 49506

Dear Mr. Donovan:

Please accept this letter as a required supplement to our Site Plan Review submittal for The Derby addition to our Gaslight Village Redevelopment Project per the Planned Unit Development previously established as the Jade Pig Ventures Planned Unit Development. Therefore this letter serves as our narrative description of the overall project objectives of our project as required by Section 5.147(A) (20) of the City of East Grand Rapids Zoning Ordinance.

444 Michigan NE
Grand Rapids, MI 49503
616 / 774.4444
Fax 616 / 742.4346

The Derby project site is part of the Gaslight Village Redevelopment Project located near Reeds Lake. The Derby site is triangular, approximately 0.69 acres, and part of approximately 8 acres of the overall Jade Pig Ventures Planned Unit Development. The project site is bounded by an existing two-story parking garage to the west, and drives to the east and south.

The Derby, in style, was inspired by the Pre-War / Romantic Style design. This "Phase Two" of the Gaslight Redevelopment will be approximately 76,000 square feet. The development includes 26 luxury condominiums (6 story residential condominium), 26 enclosed parking spaces, and approximately 7,000 square feet of "C-1 Uses" zoning classification space. There are also 26 off site parking spaces directly west of the site, to be located in the existing parking structure. The exterior of the building will be clad in face brick; architecture cast stone both in split face and smooth finish, high performance thermally broken aluminum and aluminum clad window systems with low-e glass, and a metal exterior paneling system. The base of the building will be enclosed by aluminum glass storefront system and architectural insulated precast concrete panel system.

The overall development includes the site of the Ramona Medical Arts Building and approximately 86,000 square feet of new retail, service, general office and medical office space at the completed Phase One along Wealthy Street. The overall objectives of the previously established Jade Pig Ventures Planned Unit Development remain as before; to create a mixed use development of retail, service, office, professional office, residential and common area space designed to compliment the village character of Gaslight Village and re-energize its function as the "village core" of East Grand Rapids. The architectural "hard-scapes and soft-scapes" of the entire mixed use development use premium grade materials and will significantly raise the bar on quality and aesthetics.

Phase One has been completed as required per the Jade Pig Ventures Planned Unit Development, and that portion of the overall project now includes as complete:

- 23,700 square feet in Building 1 and 2a of new first floor retail/service/restaurant space (C-1 uses other than business or professional offices and ancillary group

uses) with buildings fronting on Wealthy Street and creating a ring of shops around a common area plaza. This plaza is located opposite Bagley Avenue and is designed to function as a village center for potential outdoor events and a gathering place for East Grand Rapids residents.

- 23,260 square feet in Building 1 and 2a of new office space (C-1 uses other than ancillary group uses) located on the second floor of the new commercial buildings.
- 34,350 square feet in Building 2b and second floor of 2c of new medical office space including any C-1 uses (two level building in 2b) designed to replace the Ramona Medical Arts Building.
- 4,500 square feet in Building 2c on the first floor containing a bank, financial organization or any C-1 use other than ancillary group use.

Phase One of the Gaslight Village Redevelopment Project also now includes the completion of the common area plaza opposite Bagley Avenue that includes sculptural details that represent the past and present of East Grand Rapids. The material used in each building provides an excellent mix of brick, limestone, redwood, stone, and metal. The plaza contains Belgian block, granite, brick pavers, and concrete that creates a warm and inviting gathering place.

The overall redevelopment project is a significant financial reinvestment into the area which will continue to strengthen the entire community. It provides a catalyst for others to reinvest into their commercial and residential properties throughout the area; signs of which are already taking place since the completion of our Phase One.

The combination of retail, office, and residential uses in such close proximity along with the design of the common area plaza breathes new life into the downtown of East Grand Rapids and creates a lasting environment for Gaslight Village to become the centerpiece of the City.

Construction of The Derby condominiums will be dictated by market demand, but could possibly commence as soon as September 2008 with some or all of the residential units and ancillary retail space ready for occupancy by the end of year 2009.

Scott D. Wierda
Jade Pig Ventures

Brian G. DeVries
Jade Pig Ventures



The Derby - Building 3

Final PUD Submittal
May 6, 2008


JADE PIG VENTURES
 Gaslight
 Redevelopment
 Building 3
 East Grand Rapids,
 Michigan
 444 MICHIGAN NE, GRAND RAPIDS, MI 49503
 Phone 616 . 774 . 4444 FAX 616 . 742 . 4348

LOCATION MAP



ARCHITECT
Built Form, LLC
 311 N. Aberdeen, Suite 200c
 Chicago, Illinois 60607
 STRUCTURAL ENGINEER
Drucker Zajdel Structural Engineers, INC.
 55 South Main Street, Suite 277
 Naperville, Illinois 60540

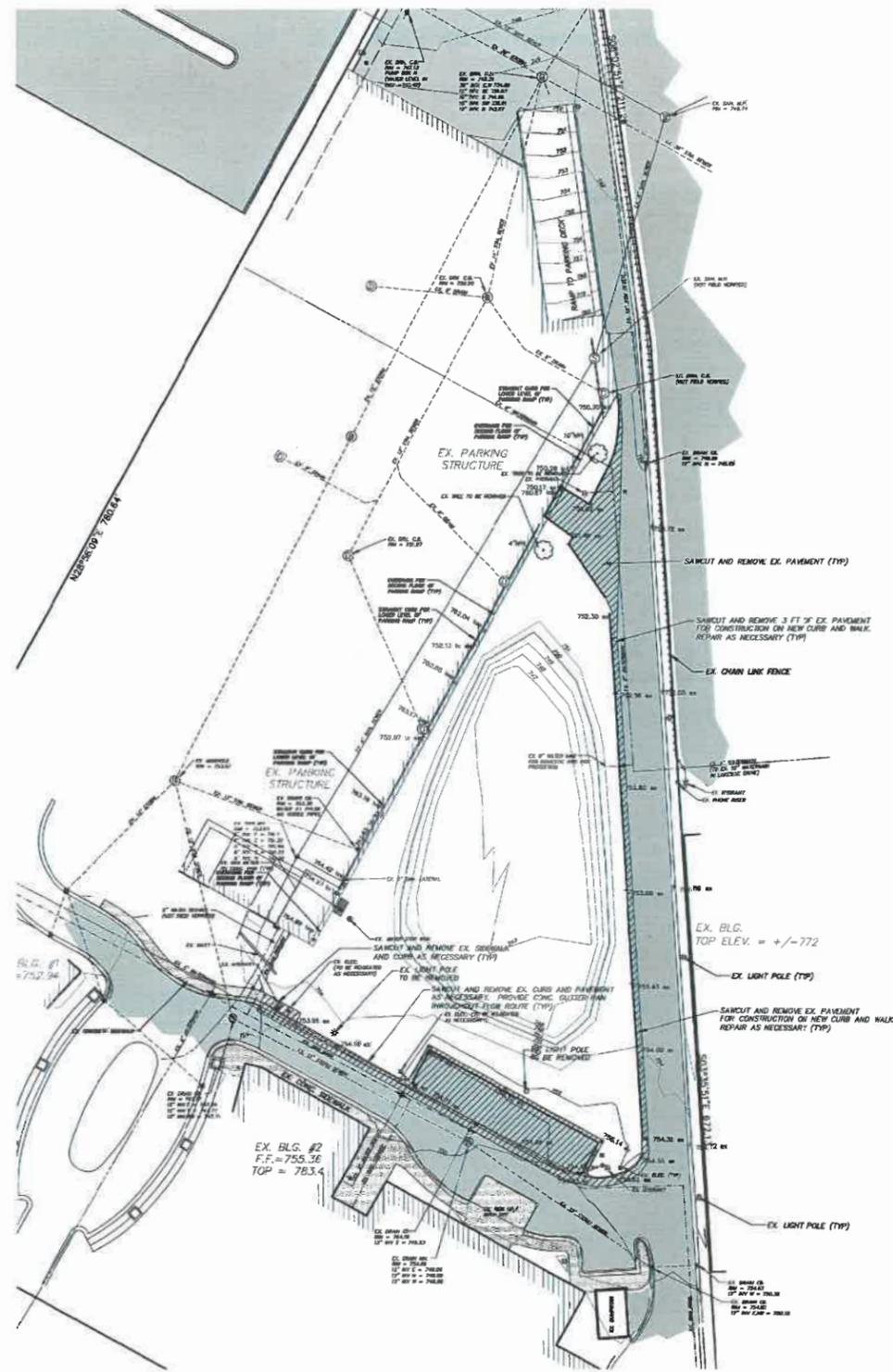
MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROT.
Advance Consulting Group Int'l
 300 West Adams Street, Suite 420
 Chicago, Illinois 60606

LANDSCAPE ARCHITECTURE
M.C. Smith Associates and Architectural Group, INC.
 529 Greenwood Avenue, S.E.,
 East Grand Rapids, Michigan 49506

SURVEY AND CIVIL ENGINEERING
Nederveld Associates, INC.
 4079 Park East Court, Grand Rapids,
 Michigan 49546

DRAWING INDEX

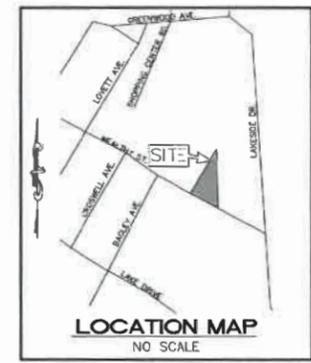
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- 05 Photometric Plan (the same as previous submittal)
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- 33 Rendering - New Design Proposal
- 34 Rendering - Approved Site Plan Submittal - 11.11.2005
- 35 Rendering - Approved Site Plan Submittal - 11.11.2005



BENCHMARK "1" ELEVATION -----756.90
 NORTHEAST CORNER 8" CONC. RET WALL @ NORTH END (1.0' A.G.L.)
 EAST SIDE VOILA CAFE.

BENCHMARK "2" ELEVATION -----753.32
 NORTHWEST CORNER 4.6' X 1.0' BOTTOM CONC STEP (0.55 A.G.L.) @ BRICK
 10.5' NORTHWEST OF NORTHWEST CORNER BUILDING #2176 WEALTHY.

BENCHMARK "3" ELEVATION -----755.60
 FLANGE BOLT UNDER "E" TO HYDRANT +/- 50' EAST OF CENTERLINE OF
 FOUNTAINS +/- 33' SOUTH OF EAST EDGE OF PARKING PARKING
 (1.3 A.G.L.)



Legal Description:
 Parcel 1 (former Jacobson's site):
 Parts of Lots 17, 18, 19, 20 and 25 and part of vacated Barnard Street (so called) of Boynton & Judd's Lake Addition to the City of Grand Rapids (now City of East Grand Rapids), Kent County, Michigan, as recorded in Liber 2 Plat, Page 24 described as: Beginning at a point on the Southern line of Lot 17, distant 17.13 feet measured South 59 degrees 59 minutes East along the Southerly line of Lot 17 from the Southeastern corner of Lot 17, said Southeastern corner of Lot 17 being the Southeastern corner of Kennedy's Subdivision; thence South 59 degrees 59 minutes East along the Northern line of Wealthy Street, 85.00 feet was, as now established, a distance of 560.00 feet to a point; thence North 02 degrees 37 minutes West, a distance of 672.13 feet to a point; thence North 07 degrees 04 minutes West, a distance of 211.26 feet to a point curve; thence by a curve to the left, whose radius is 123.45 feet and whose chord bearing is North 27 degrees 13 minutes 30 seconds west, a distance of 82.46 feet recorded; 86.87 feet measured along the arc to a point; thence South 29 degrees 35 minutes West, a distance of 780.64 feet to the point of beginning.



3 WORKING DAYS
 BEFORE YOU DIG
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 (TOLL FREE)



Existing Conditions Plan

GENERAL CONSTRUCTION NOTES

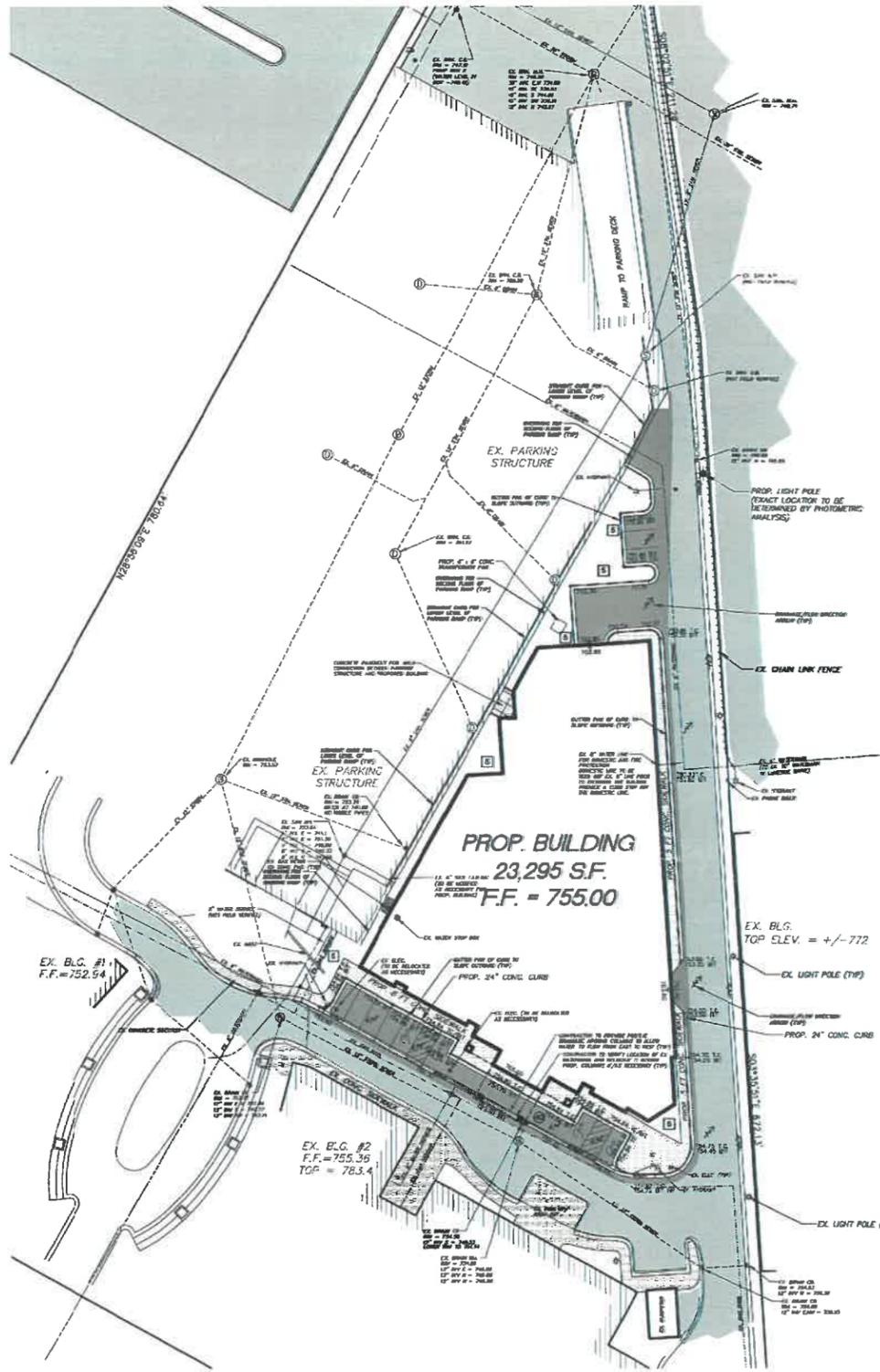
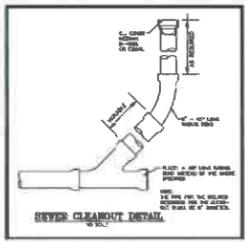
1. ALL SANITARY SEWER & WATERMAIN MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF EAST GRAND RAPIDS STANDARDS AND SPECIFICATIONS.
2. AS-BUILT UTILITY LOCATIONS SHALL BE PROVIDED TO THE CITY OF EAST GRAND RAPIDS.
3. ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.

WATERMAIN:

1. ALL WATERMAIN, FITTINGS, AND APPURTENANCES STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF EAST GRAND RAPIDS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN PIPE SHALL BE EXACTLY IRON CLASS 52, COATED UNID, CONFORMING TO ANSI/AWWA C151/A.31.51 AND POLYPROPYLENE.
3. DEPTH OF WATERMAIN MINIMUM 8' BELOW GRADE TO TOP OF PIPE. WATERMAIN SHALL BE BEDDED AND BACKFILLED WITH SAND COMPACTED TO 95% DENSITY. MAXIMUM DEPTH OF COVER SHALL BE 8'.
4. COORDINATE TAPS OF EXISTING WATERMAIN WITH CITY OF EAST GRAND RAPIDS WATER AND SEWER DEPARTMENT.
5. FIRE HYDRANTS, VALVES, AND VALVE BOXES SHALL CONFORM TO EAST GRAND RAPIDS STANDARDS.
6. INSTALL WATER SERVICES PERPENDICULAR TO WATER MAIN. PLACE CURB STOPS WITHIN THE EASEMENT OR R.O.W. PLACE AND MAINTAIN LOCATION MARKERS AT CURB STOPS.
7. CHLORINATE COMPLETED WATERMAINS. PERFORM PRESSURE TEST, AND BACTERIOLOGICAL TESTS OF COMPLETED MAIN. TESTS SHALL BE WITNESSED BY CITY OF EAST GRAND RAPIDS INSPECTORS, NOTIFY AGENCIES AND INSPECTORS 48 HOURS PRIOR TO TESTING. NO CONNECTIONS TO EXISTING WATERMAIN WILL BE ALLOWED UNTIL AFTER ALL PROPOSED WATERMAIN TESTING IS COMPLETED & APPROVED BY THE CITY OF EAST GRAND RAPIDS.
8. RECORD LOCATION OF SERVICE CONNECTION MEASURED FROM THE NEAREST VALVE TO SERVICE CONNECTION. SUBMIT RECORDS TO ENGINEER FOR AS-BUILT DRAWINGS.
9. WATER SERVICES SHALL BE TYPE K COPPER, ANNEALED, SEAMLESS, ASTM B-88.

SANITARY SEWER:

1. ALL SANITARY SEWER AND APPURTENANCE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF EAST GRAND RAPIDS STANDARDS AND SPECIFICATIONS.
2. SANITARY SEWER & LATERALS SHALL BE BEDDED AND BACKFILLED WITH SAND COMPACTED TO 95%.
3. INSTALL 4" SANITARY SEWER LATERAL AT 18" MIN.
4. RECORD LOCATION OF SEWER WYE MEASURED FROM THE NEAREST DOWN STREAM SANITARY MH. SUBMIT RECORDS TO ENGINEER FOR AS-BUILT DRAWINGS.



BENCHMARK "1" ELEVATION -----756.90
NORTHEAST CORNER 8" CONC. RET. WALL @ NORTH END (1.0' A.G.L.)
EAST SIDE VOLTA CAFE.

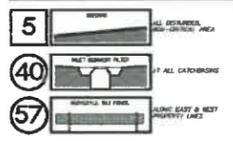
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10.5' NORTHWEST OF NORTHWEST CORNER BUILDING #2176 WEALTHY.

BENCHMARK "3" ELEVATION -----755.60
FLANGE BOLT UNDER "E" TO HYDRANT +/- 50' EAST OF CENTERLINE OF
FOUNTAINS +/- 33' SOUTH OF EAST EDGE OF PARKING



SOIL EROSION/SEDIMENTATION CONTROL PLAN

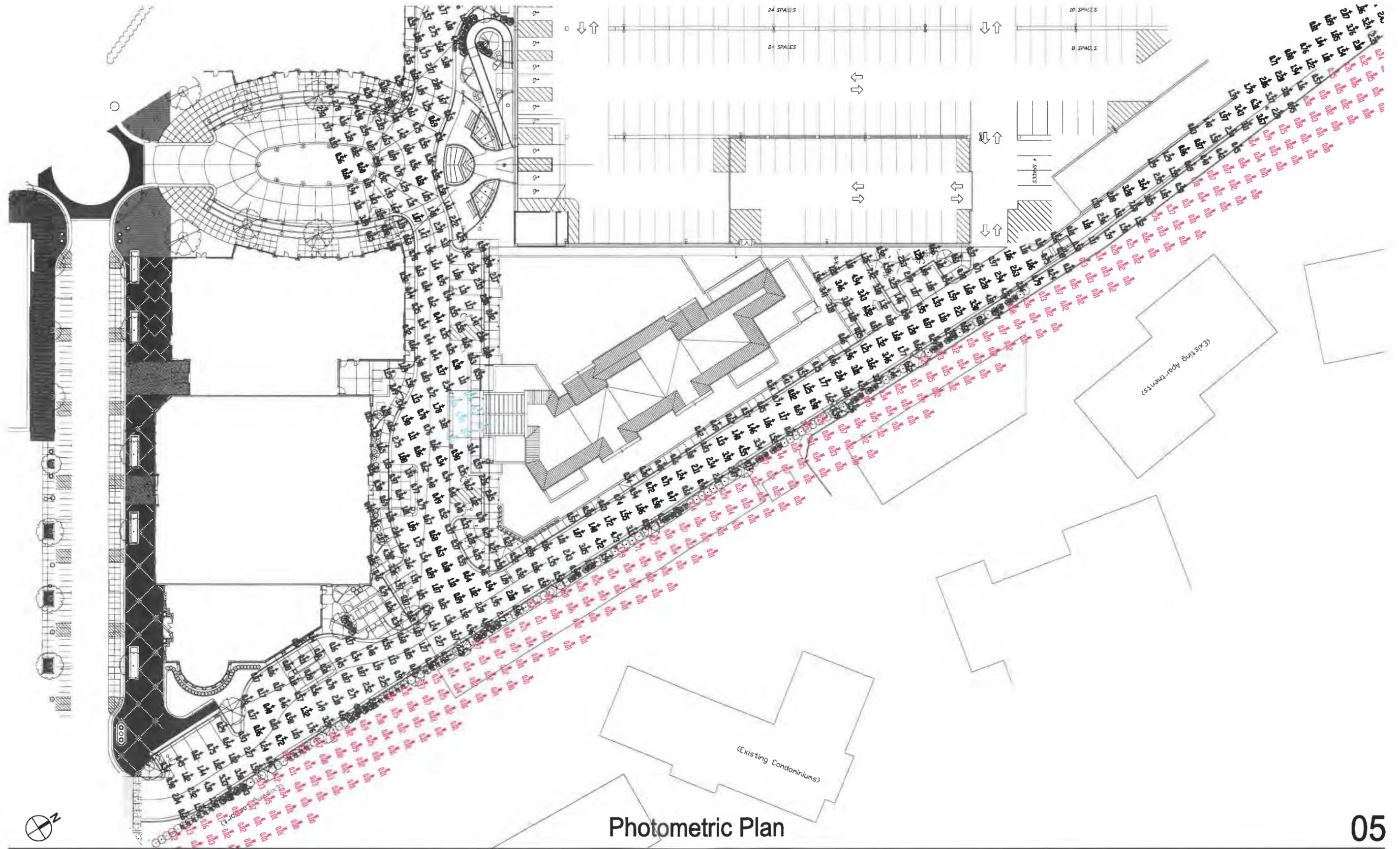
- 1) CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO START OF ANY EARTH WORK.
- 2) CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- 3) EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED.
- 4) LOCATION AND TYPE OF EROSION CONTROL MEASURES ARE IDENTIFIED ON THE SKETCH BY KEY NUMBERS, E.S. IS RELIANT TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY UNIFIED KEYING SYSTEM AND BEST MANAGEMENT PRACTICES.



Legal Description:
Parcel 1 (Lower Jacobson's site):
Parts of Lots 17, 18, 19, 20 and 25 and part of vacated Bernard Street (so called) of Baynton & Judd's Lake Addition to the City of Grand Rapids (now City of East Grand Rapids), Kent County, Michigan, as recorded in Liber 2 Plots, Page 24 described as: Beginning at a point on the Southerly line of Lot 17, distant 17.13 feet measured South 59 degrees 59 minutes East along the Southerly line of Lot 17 from the Southwestern corner of Lot 17, said Southwestern corner of Lot 17 being the Southwestern corner of Kennedy's Subdivision; thence South 59 degrees 59 minutes East along the Northerly line of Wealthy Street, 66.00 feet wide, as now established, a distance of 360.00 feet to a point; thence North 02 degrees 17 minutes West, a distance of 672.13 feet to a point; thence North 02 degrees 04 minutes West, a distance of 271.26 feet to a point; thence by a curve to the left, whose radius is 121.45 feet and whose chord bearing is North 27 degrees 13 minutes 30 seconds West, a distance of 67.68 feet recorded, 66.97 feet measured along the arc to a point; thence South 29 degrees 35 minutes West, a distance of 280.64 feet to the point of beginning.

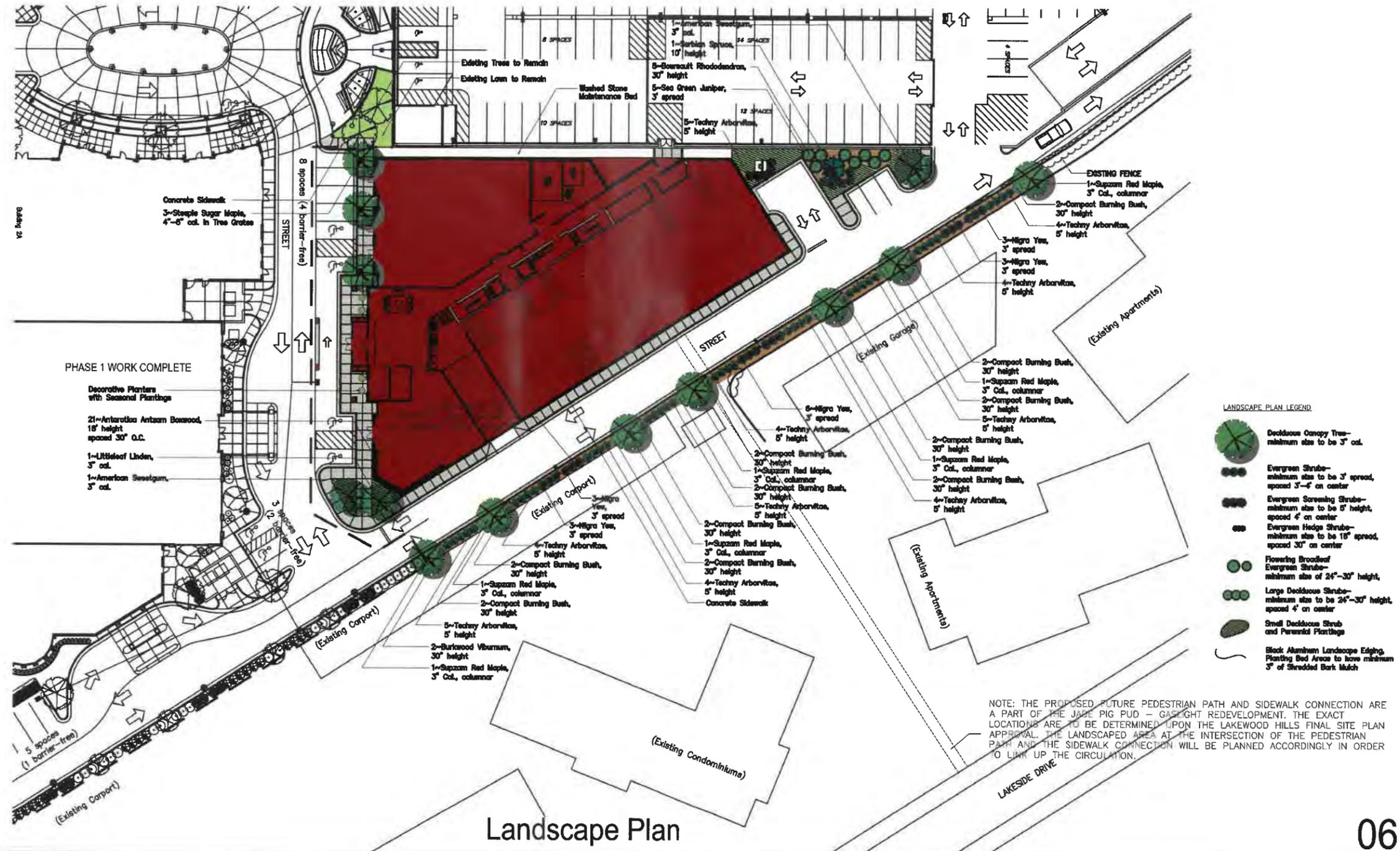
3 WORKING DAYS BEFORE YOU DIG
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(TOLL FREE)

Utility/Grading Plan



Photometric Plan

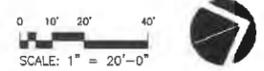
NOTE: SEE SHEET 15 FOR THE TEMPORARY DRIVEWAY TO RAMONA MEDICAL PROPERTY AND THE PROPOSED SHARED DRIVEWAY CONFIGURATIONS, BOTH ARE A PART OF THE JADE PIG PUD - GASLIGHT REDEVELOPMENT.



- LANDSCAPE PLAN LEGEND**
- Deciduous Canopy Tree—minimum size to be 3" cal.
 - Evergreen Shrub—minimum size to be 3' spread, spaced 3'-4' on center
 - Evergreen Screening Shrub—minimum size to be 6' height, spaced 4' on center
 - Evergreen Hedge Shrub—minimum size to be 18" spread, spaced 30" on center
 - Flowering Broadleaf Evergreen Shrub—minimum size of 24"-30" height
 - Large Deciduous Shrub—minimum size to be 24"-30" height, spaced 4' on center
 - Small Deciduous Shrub and Parental Plantings
 - Black Aluminum Landscape Edging, Planting Bed Areas to have minimum 3" of Shredded Bark Mulch

NOTE: THE PROPOSED FUTURE PEDESTRIAN PATH AND SIDEWALK CONNECTION ARE A PART OF THE JADE PIG PUD - GASLIGHT REDEVELOPMENT. THE EXACT LOCATIONS ARE TO BE DETERMINED UPON THE LAKEWOOD HILLS FINAL SITE PLAN APPROVAL. THE LANDSCAPED AREA AT THE INTERSECTION OF THE PEDESTRIAN PATH AND THE SIDEWALK CONNECTION WILL BE PLANNED ACCORDINGLY IN ORDER TO LINK UP THE CIRCULATION.

Landscape Plan





Extensive Green Roof Plan

Jade Pig Ventures

Gaslight Development - The Derby
 East Grand Rapids, Michigan
 Final PUD Submission
 Planning Commission

BUILT FORM
 ARCHITECTURE



M.C. SMITH ASSOCIATES AND ARCHITECTURAL GROUP, INC.
 Landscape Architecture Park & Recreation Planning
 Downtown Planning Intervisitation Sports Facility Planning
 529 Greenwood Avenue SE, East Grand Rapids, MI 49508
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Comparison of the Previous Approved PUD and Current Proposal

Approved PUD - 11.11.2005

Current Proposal - 05.06.2008

Gross Area	Ground Level = 22,943 SF Residential Levels = 54,337 SF Total Gross Area = 77,280 SF	Ground Level = 23,312 SF Residential Levels = 52,661 SF Total Gross Area = 75,973 SF
Density	26 Residential Units 11,773 SF C-1 Uses	26 Residential Units Maximum 7,000 SF C-1 Uses
Parking Spaces	52 Parking Spaces on Site (Underground Parking)	26 Parking Spaces on Site 26 Spaces Directly West of the Site in Existing Parking Deck
Exterior Materials	Brick and Cast Stone	Brick, Cast Stone and Precast Concrete
Building Height	79' to Midpoint of Sloped Roof	79' to Midpoint of Sloped Roof

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Design Approaches of the Current Design Proposal

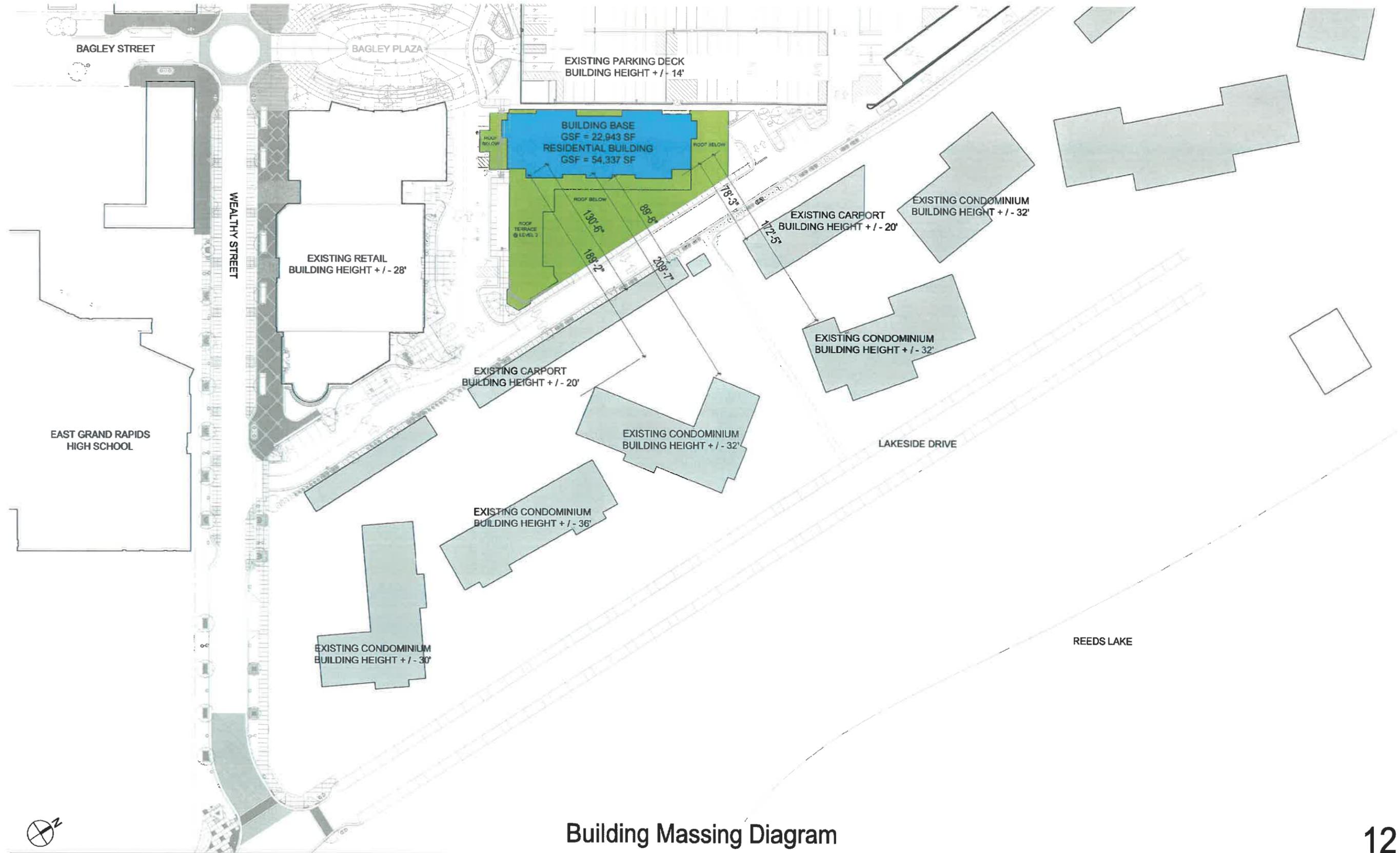
- Rationalize architectural space planning
- Simplify structural system
- Clarify the architectural languages on the exterior façades
- Reduce the average unit size
- Omit the underground or mezzanine parking spaces

Building Layout and Massing

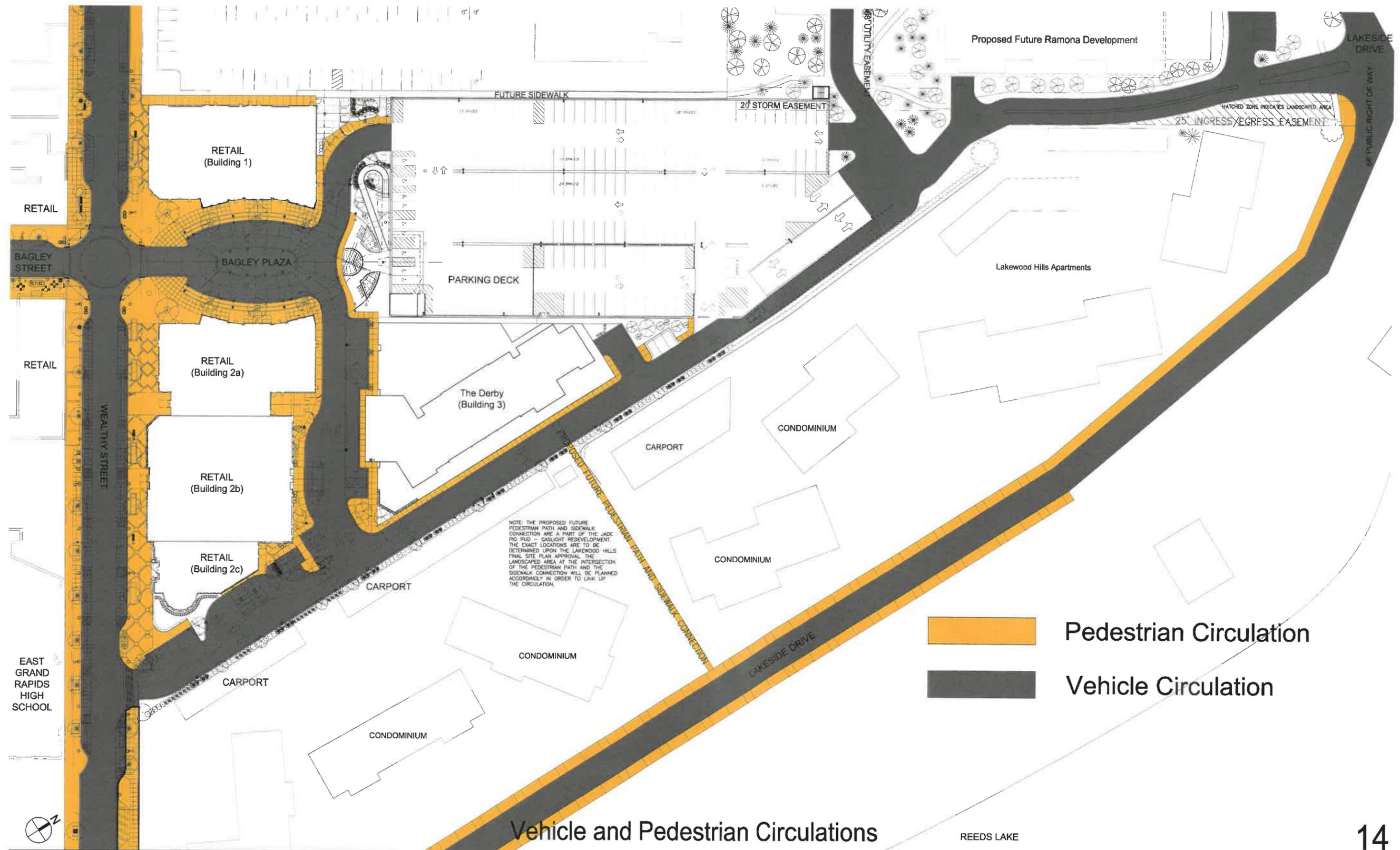
- Relocate the C-1 uses space to the southwest corner which improves the pedestrian connectivity to the central plaza and existing C-1 users.
- Shift the residential building toward east side gives the central plaza space to breath as well as visual openness.
- See attached Massing Diagrams for the dimensions between The Derby and the adjacent carports and the condominiums

Building Design Modifications and Clarifications (Responses to the City's Comments)

- Increased use of brick on façades, cast stones is used in building base and building accent elements only
- Increase the number of window openings and visually subdividing the elevation pattern on the west façade
- Rescaling the louvers in the gable ends
- Exterior insulate finish system (EIFS) at the gable ends simulate the stucco use in Pre-War / Romantic Style
- Rationalize the architectural languages on the facades to fit one style in lieu of the design by community.
- Identify Vehicle and Pedestrian Circulations (See attachments)



Building Massing Diagram



Vehicle and Pedestrian Circulations

- Pedestrian Circulation
- Vehicle Circulation

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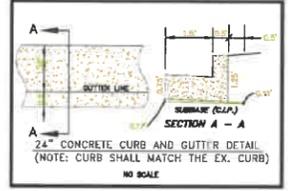
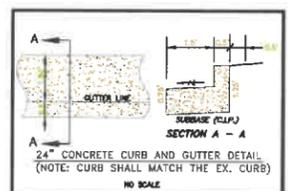
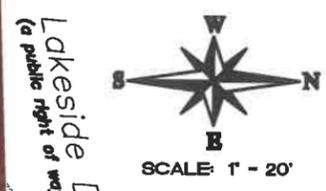
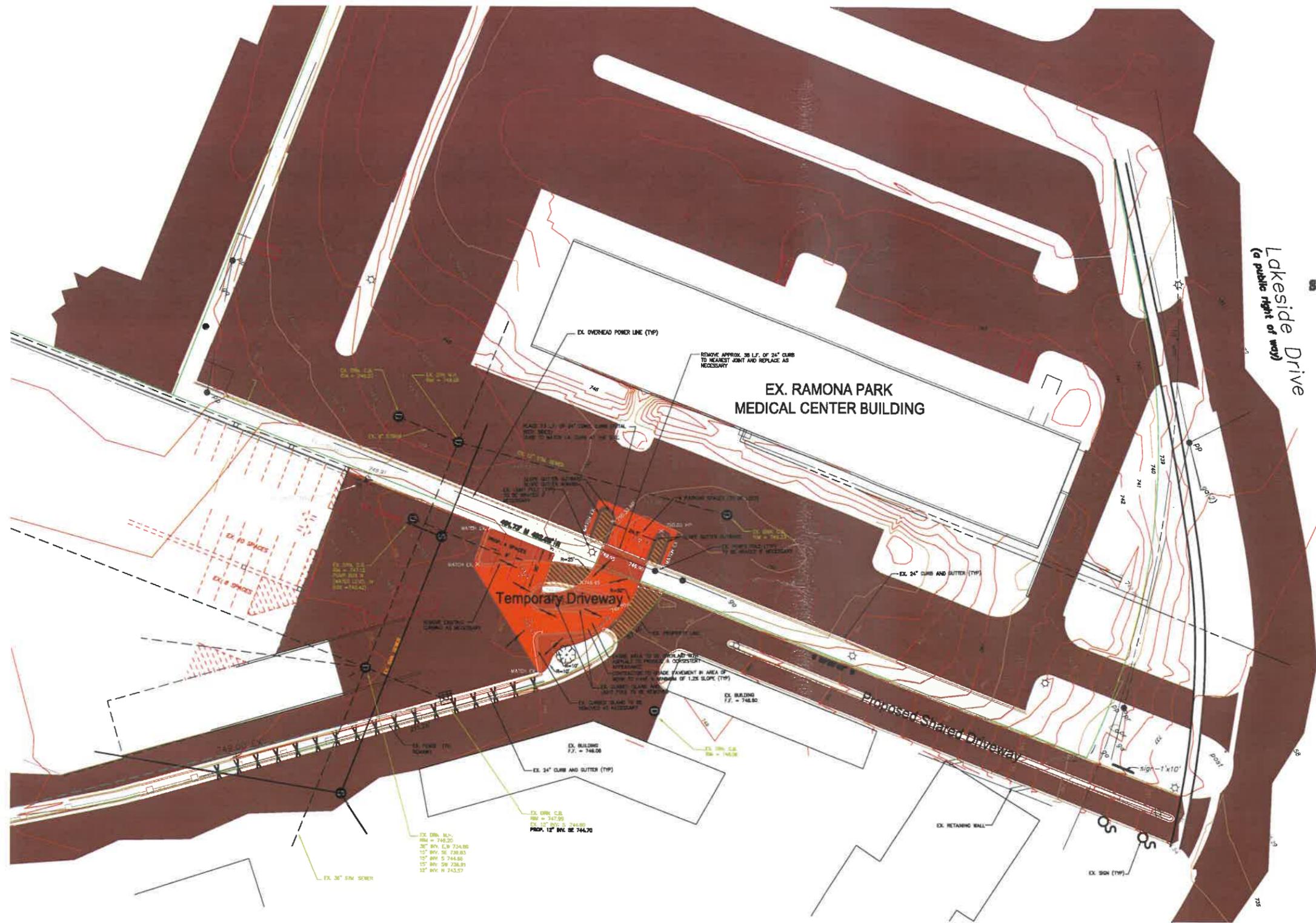
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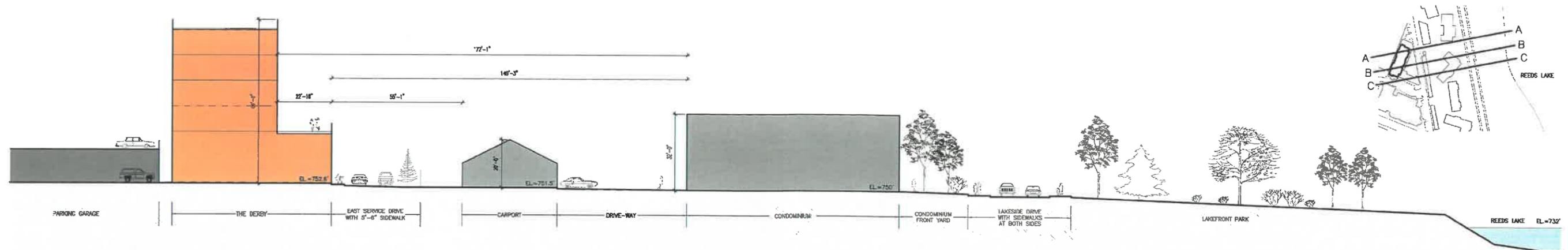
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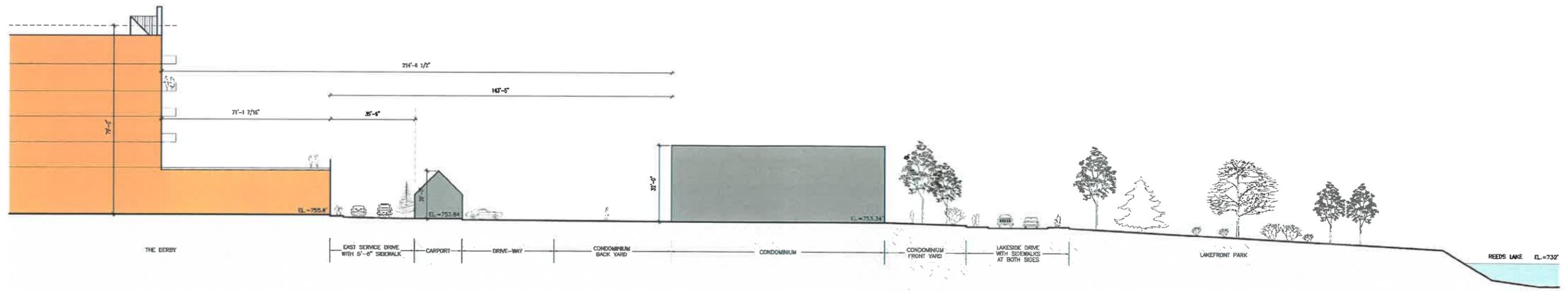


LEGEND	
	EX. PAVEMENT
	PROP. PAVEMENT
	EX. PAVEMENT TO BE REMOVED AND REPLACED AS NECESSARY
	EX. PAVEMENT TO BE REMOVED & REPLACED W/ 4\"/>
749.85	EX. SPOT ELEVATION
+	
749.89	PROP. SPOT ELEVATION
+	

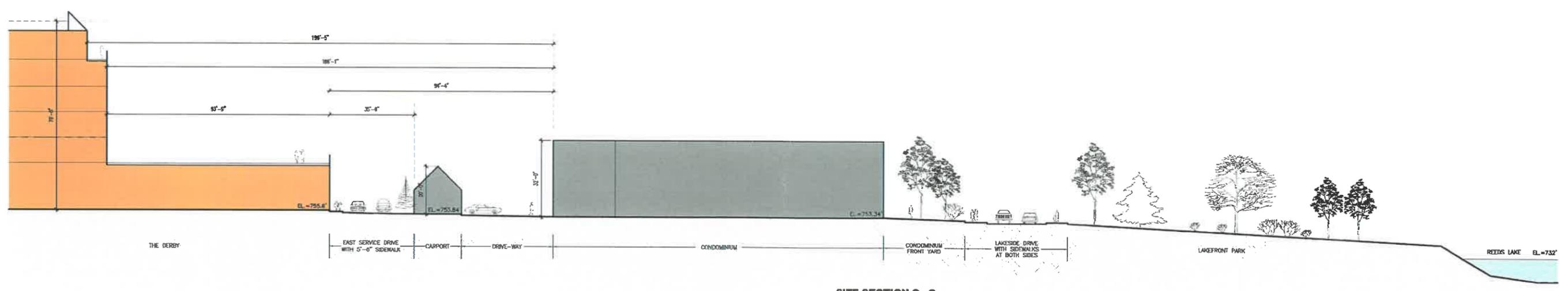
Temporary Driveway to Ramona Medical Property and Proposed Shared Driveway



SITE SECTION A - A

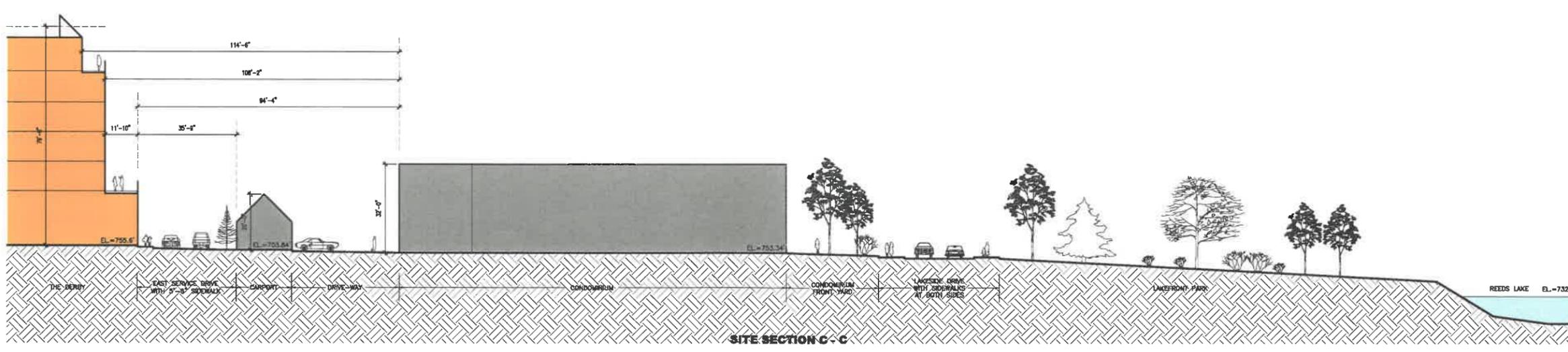
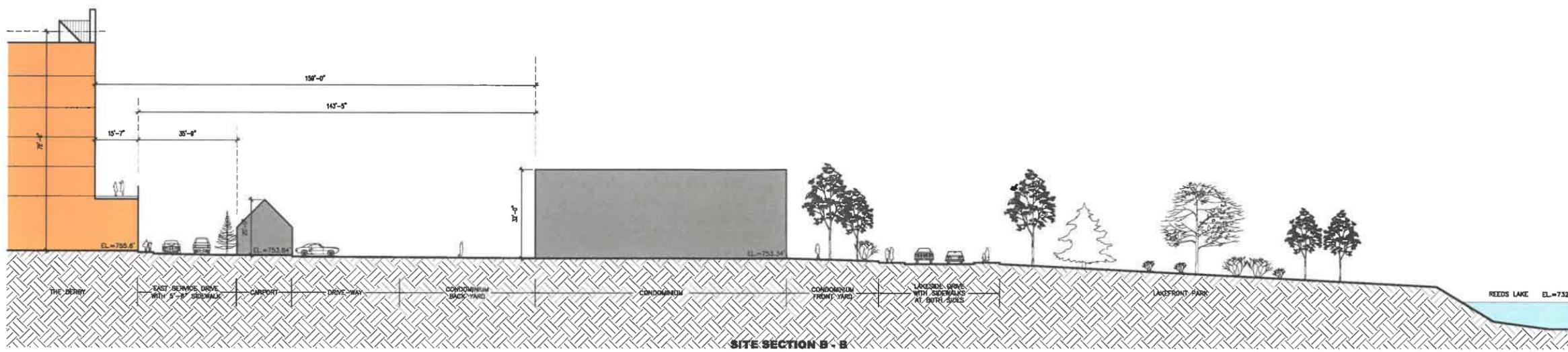
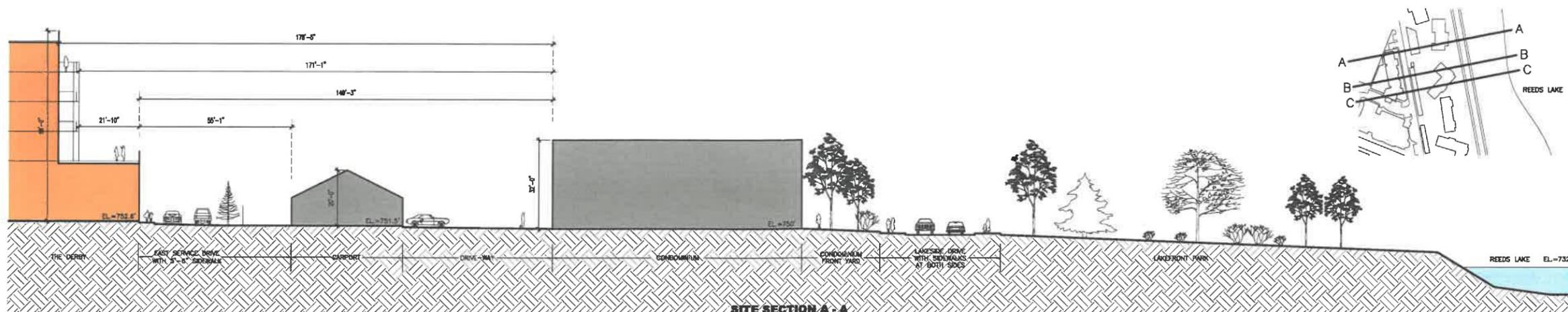


SITE SECTION B - B



SITE SECTION C - C

Site Sections



Site Sections

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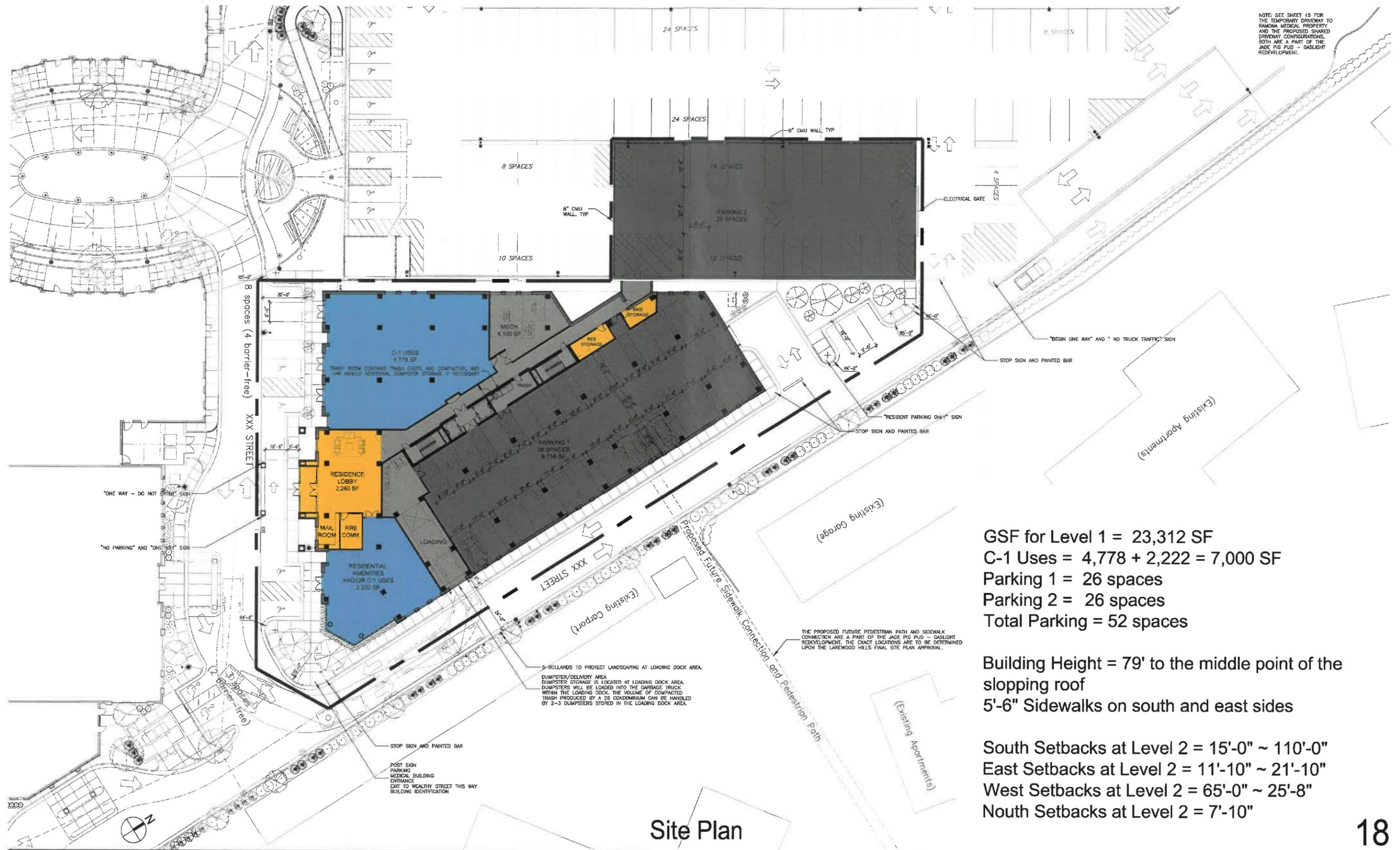
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Scale: 1/16"=1'-0"

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GSF for Level 1 = 23,312 SF
 C-1 Uses = 4,778 + 2,222 = 7,000 SF
 Parking 1 = 26 spaces
 Parking 2 = 26 spaces
 Total Parking = 52 spaces

Building Height = 79' to the middle point of the slopping roof
 5'-6" Sidewalks on south and east sides

South Setbacks at Level 2 = 15'-0" ~ 110'-0"
 East Setbacks at Level 2 = 11'-10" ~ 21'-10"
 West Setbacks at Level 2 = 65'-0" ~ 25'-8"
 North Setbacks at Level 2 = 7'-10"

Site Plan



GSF= 11,254 SF
 NSSF= 9,586 SF
 6 Units Per Floor

Building Plate - Level 2

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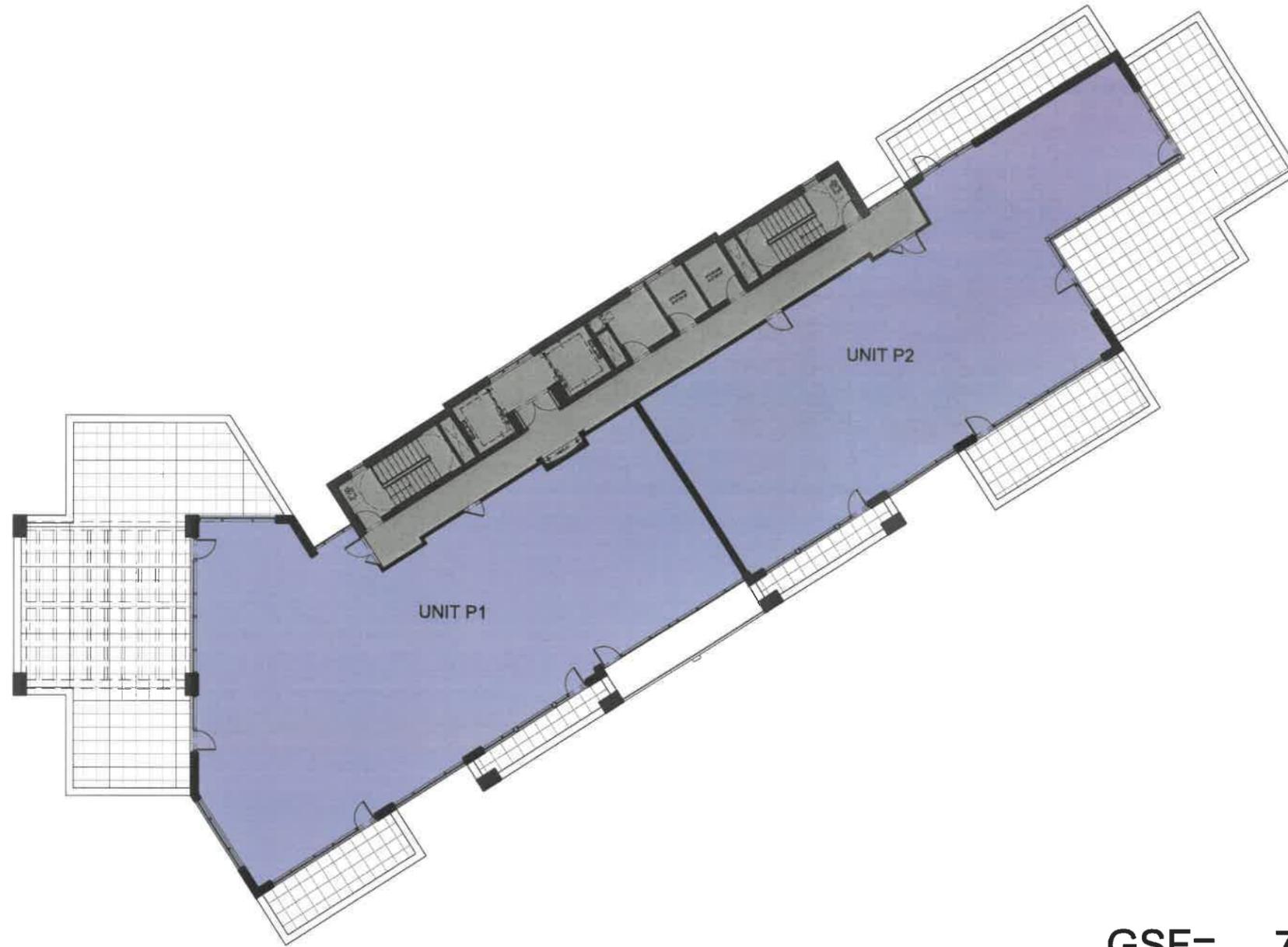
Scale: 1/8"=1'-0"

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GSF= 11,254 SF
NSSF= 9,586 SF
6 Units Per Typical Floors

Building Plate - Level 3 ~ Level 5



GSF= 7,645 SF
 NSSF= 6,307 SF
 2 Units Per Floor

Building Plate - Level 6

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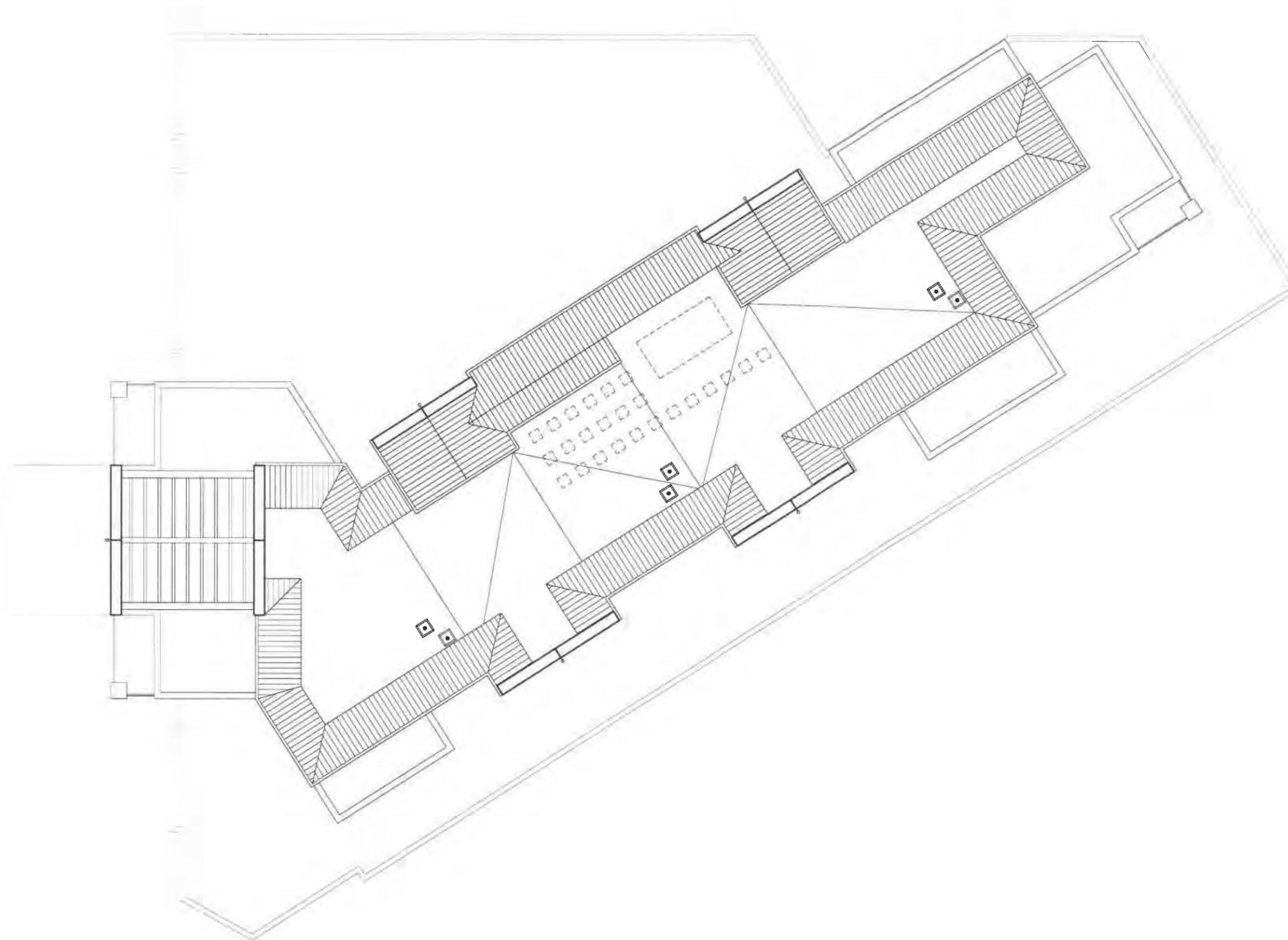
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Roof Plan

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South Elevation

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0 4' 8' 16'
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East Elevation

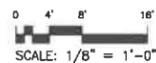
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West Elevation

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0 4' 8' 16'
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North Elevation

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0 4' 8' 16'
 SCALE: 1/8" = 1'-0"

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Rendering

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Rendering
Approved Site Plan Submittal - 11.11.2005

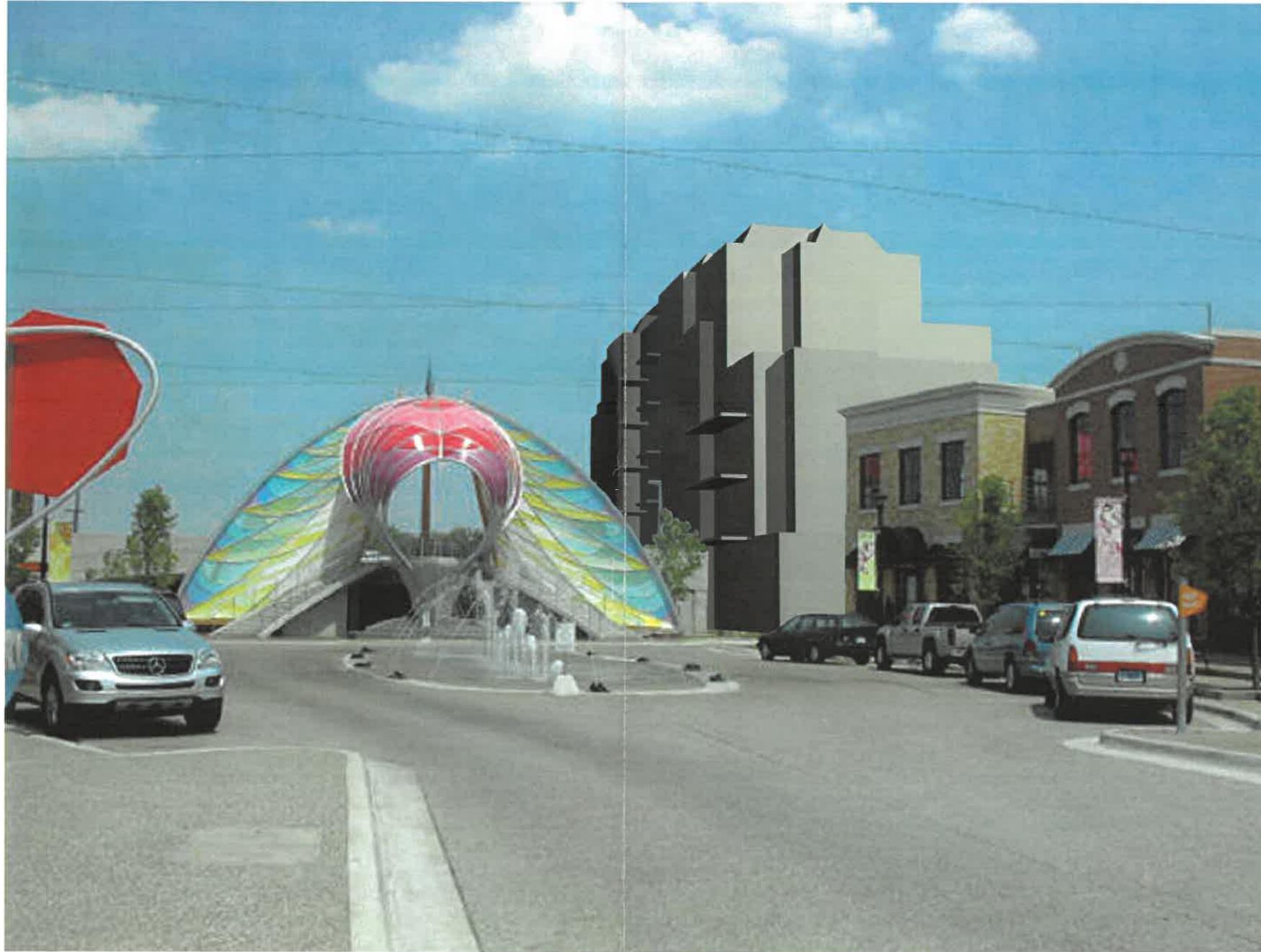
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